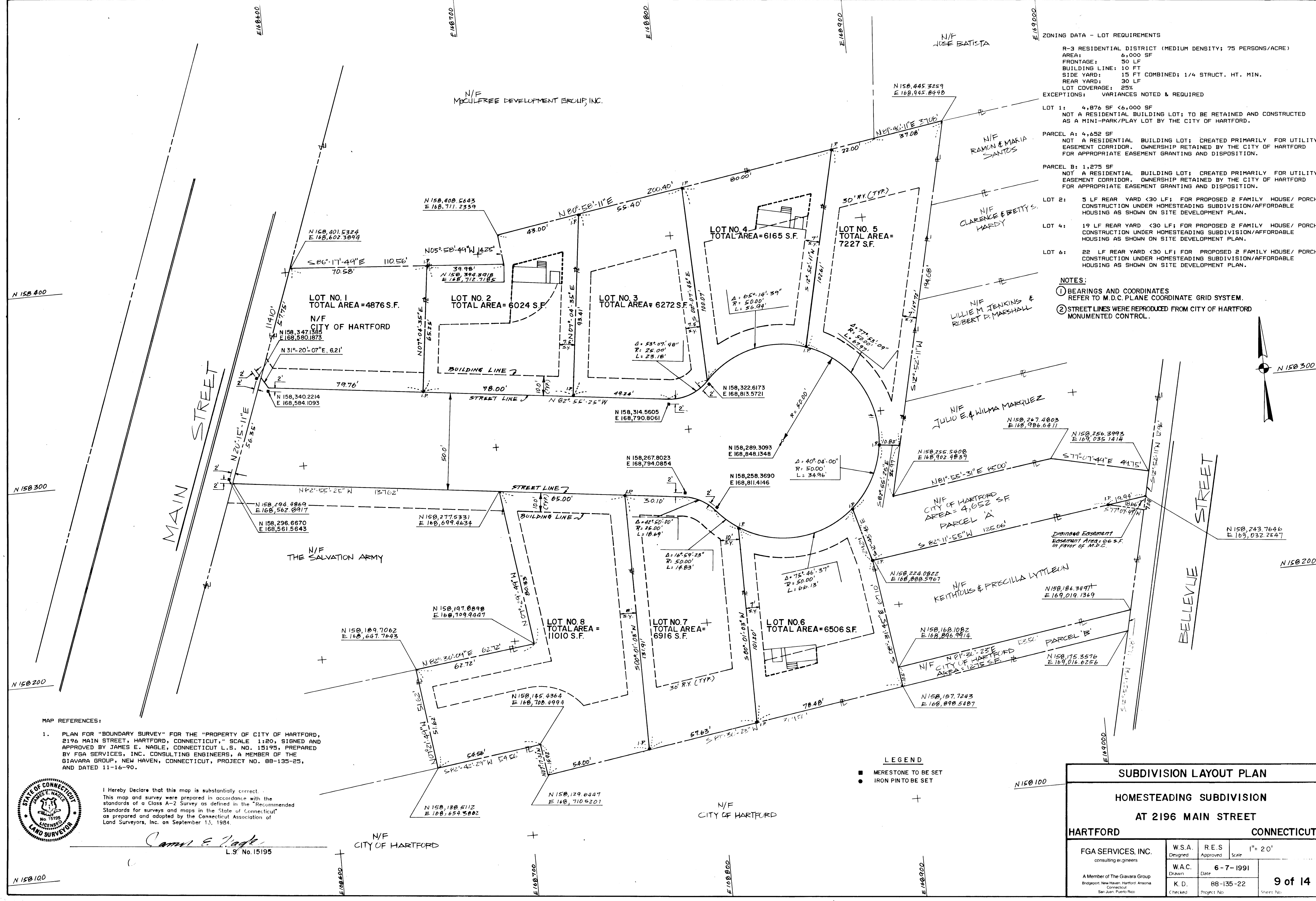


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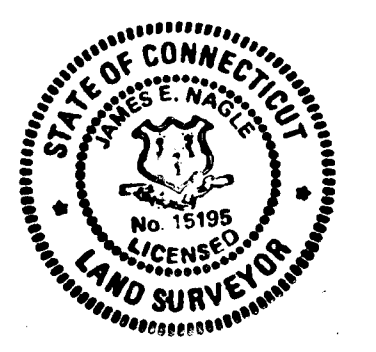


- ZONING DATA - LOT REQUIREMENTS
- R-3 RESIDENTIAL DISTRICT (MEDIUM DENSITY; 75 PERSONS/ACRE)
- AREA: 6,000 SF
FRONTAGE: 50 LF
BUILDING LINE: 10 FT
SIDE YARD: 15 FT COMBINED; 1/4 STRUCT. HT. MIN.
REAR YARD: 30 LF
LOT COVERAGE: 25%
EXCEPTIONS: VARIANCES NOTED & REQUIRED
- LOT 1: 4,876 SF < 6,000 SF
NOT A RESIDENTIAL BUILDING LOT; TO BE RETAINED AND CONSTRUCTED AS A MINI-PARK/PLAY LOT BY THE CITY OF HARTFORD.
- PARCEL A: 4,652 SF
NOT A RESIDENTIAL BUILDING LOT; CREATED PRIMARILY FOR UTILITY EASEMENT CORRIDOR. OWNERSHIP RETAINED BY THE CITY OF HARTFORD FOR APPROPRIATE EASEMENT GRANTING AND DISPOSITION.
- PARCEL B: 1,275 SF
NOT A RESIDENTIAL BUILDING LOT; CREATED PRIMARILY FOR UTILITY EASEMENT CORRIDOR. OWNERSHIP RETAINED BY THE CITY OF HARTFORD FOR APPROPRIATE EASEMENT GRANTING AND DISPOSITION.
- LOT 2: 5 LF REAR YARD < 30 LF; FOR PROPOSED 2 FAMILY HOUSE/ PORCH CONSTRUCTION UNDER HOMESTEADING SUBDIVISION/AFFORDABLE HOUSING AS SHOWN ON SITE DEVELOPMENT PLAN.
- LOT 4: 19 LF REAR YARD < 30 LF; FOR PROPOSED 2 FAMILY HOUSE/ PORCH CONSTRUCTION UNDER HOMESTEADING SUBDIVISION/AFFORDABLE HOUSING AS SHOWN ON SITE DEVELOPMENT PLAN.
- LOT 6: 22 LF REAR YARD < 30 LF; FOR PROPOSED 2 FAMILY HOUSE/ PORCH CONSTRUCTION UNDER HOMESTEADING SUBDIVISION/AFFORDABLE HOUSING AS SHOWN ON SITE DEVELOPMENT PLAN.

- NOTES:
- BEARINGS AND COORDINATES REFER TO M.D.C. PLANE COORDINATE GRID SYSTEM.
 - STREET LINES WERE REPRODUCED FROM CITY OF HARTFORD MONUMENTED CONTROL.

MAP REFERENCES:

- PLAN FOR "BOUNDARY SURVEY" FOR THE "PROPERTY OF CITY OF HARTFORD, 2196 MAIN STREET, HARTFORD, CONNECTICUT," SCALE 1:20, SIGNED AND APPROVED BY JAMES E. NAGLE, CONNECTICUT L.S. NO. 15195, PREPARED BY FGA SERVICES, INC., CONSULTING ENGINEERS, A MEMBER OF THE GIARRA GROUP, NEW HAVEN, CONNECTICUT, PROJECT NO. 88-135-25, AND DATED 11-16-90.



I Hereby Declare that this map is substantially correct.
This map and survey were prepared in accordance with the standards of a Class A-2 Survey as defined in the "Recommended Standards for surveys and maps in the State of Connecticut" as prepared and adopted by the Connecticut Association of Land Surveyors, Inc. on September 13, 1984.

James E. Nagle
L.S. No. 15195

- LEGEND
- MERESTONE TO BE SET
 - IRON PINTO TO BE SET

SUBDIVISION LAYOUT PLAN				
HOMESTEADING SUBDIVISION				
AT 2196 MAIN STREET				
HARTFORD		CONNECTICUT		
FGA SERVICES, INC. consulting engineers	W.S.A. Designed	R.E.S. Approved	1" = 20'	
A Member of The Giarra Group Bridgeport, New Haven, Hartford, Ansonia, Connecticut San Juan, Puerto Rico	W.A.C. Drawn	Date	6-7-1991	
	K.D.	88-135-22	9 of 14	
	Checked	Project No.	Sheet No.	

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