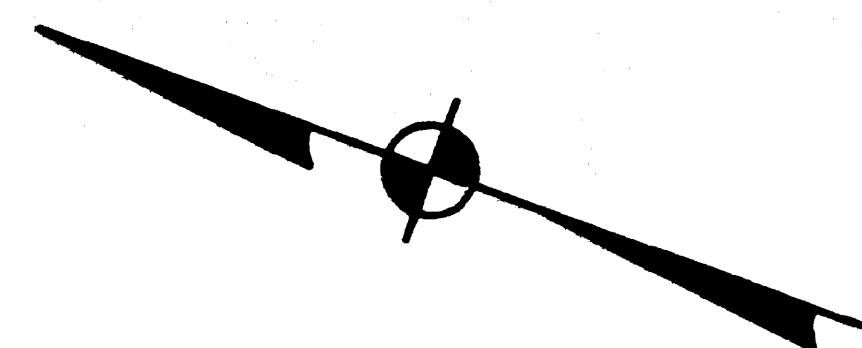


LEGEND	
	boundary line
	easement line
	proposed building
	existing building
	proposed driveway
	existing driveway
	proposed road
	existing road
	proposed sidewalk
	existing sidewalk
	proposed utility line
	existing utility line
	proposed fence
	existing fence
	proposed well
	existing well
	proposed pond
	existing pond
	proposed wetland
	existing wetland
	proposed water body
	existing water body
	proposed road right-of-way
	existing road right-of-way
	proposed utility right-of-way
	existing utility right-of-way



GENERAL NOTES:

1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE PROPOSED DRAINAGE EASEMENTS.
2. ZONE: R4 RESIDENTIAL 8,000
3. NORTH ARROW AND BEARINGS ARE ASSUMED AND APPROXIMATE TO TRUE NORTH.

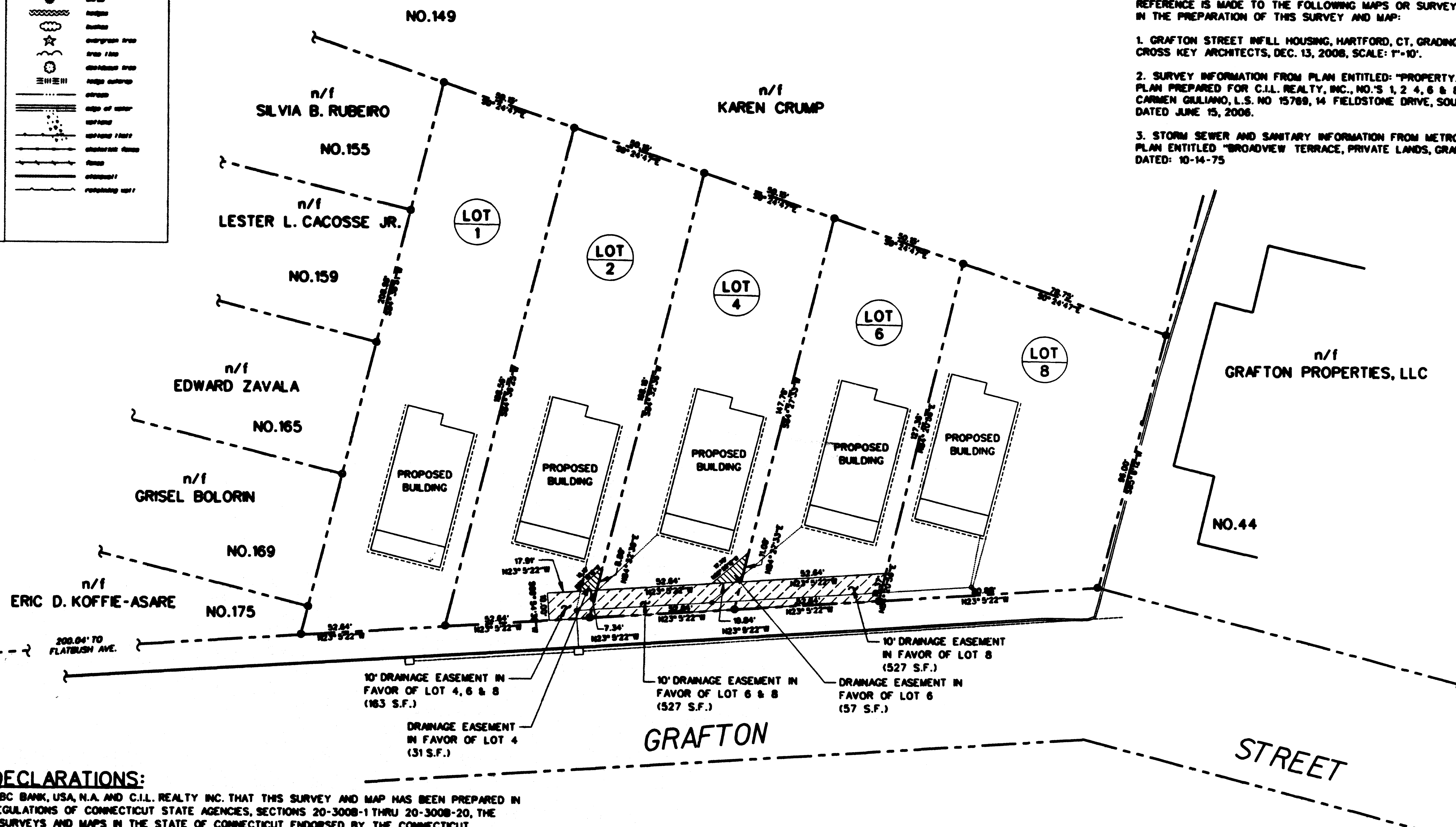
MAP REFERENCES:

REFERENCE IS MADE TO THE FOLLOWING MAPS OR SURVEYS FOR WHICH DATA WAS USED IN THE PREPARATION OF THIS SURVEY AND MAP:

1. GRAFTON STREET INFILL HOUSING, HARTFORD, CT, GRADING AND UTILITY PLAN, L-2, CROSS KEY ARCHITECTS, DEC. 13, 2008, SCALE: 1"=10'.
2. SURVEY INFORMATION FROM PLAN ENTITLED: "PROPERTY/BOUNDARY SURVEY - PLOT PLAN PREPARED FOR C.I.L. REALTY, INC., NO'S 1, 2, 4, 6 & 8, HARTFORD CONNECTICUT", BY CARMEN GIULIANO, L.S. NO 15789, 14 FIELDSTONE DRIVE, SOUTH GLASTONBURY, CT, 06073. DATED JUNE 15, 2006.
3. STORM SEWER AND SANITARY INFORMATION FROM METROPOLITAN DISTRICT (MDC) PLAN ENTITLED "BROADVIEW TERRACE, PRIVATE LANDS, GRAFTON STREET, HARTFORD", DATED: 10-14-75

THIS MAP PRODUCED BY
ORIGINAL INK DRAWING
ON POLY FILM OR LITHO
PRODUCED BY
CARMEN GIULIANO, L.S.
SOUTH GLASTONBURY, CT

FLATBUSH AVENUE



NOTES AND DECLARATIONS:

I HEREBY DECLARE TO HSBC BANK, USA, N.A. AND C.I.L. REALTY INC. THAT THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300B-1 THRU 20-300B-20, THE MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. THE TYPE OF SURVEY IS PROPERTY/BOUNDARY, THE BOUNDARY DETERMINATION CATEGORY IS A DEPENDANT RE-SURVEY. THE HORIZONTAL ACCURACY CONFORMS TO A-2. THE VERTICAL ACCURACY CONFORMS TO T-2.

NO DECLARATION IS EXPRESSED OR IMPLIED BY THIS MAP OR COPIES THEREOF UNLESS IT BEARS THE IMPRESSION TYPE SEAL AND ORIGINAL LIVE SIGNATURE OF THE SURVEYOR WHOSE NAME AND REGISTRATION NUMBER APPEAR BELOW. ANY CHANGES MADE TO THIS PLAN WITHOUT THE KNOWLEDGE OF THE SIGNERS INVALIDATES THESE DECLARATIONS.

REV.	DATE	REVISIONS DESCRIPTION

SCALE IN FEET
0 20 40
SCALE 1" = 20'

DESIGNER:

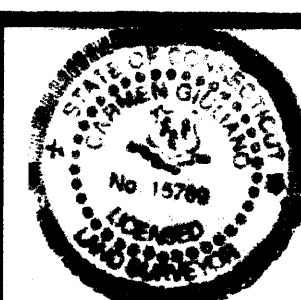
DRAFTER:

CHECKED BY:

DATE CHECKED:

CARMEN GIULIANO, L.S. NO. 15789
14 Fieldstone Drive
South Glastonbury, CT 06073
(860) 633-1161

DATE



DRAINAGE EASEMENT PLAN

PLAN PREPARED FOR
C.I.L. REALTY, INC.

GRAFTON STREET

HARTFORD, CONNECTICUT

FILENAME:
GRAFTON EASEMENT.DGN

DATE:
07-31-07

SHEET NO.:
1 OF 1

...GRAFTON\GRAFTON-easement.dgn 8/11/2007 8:38:28 PM

