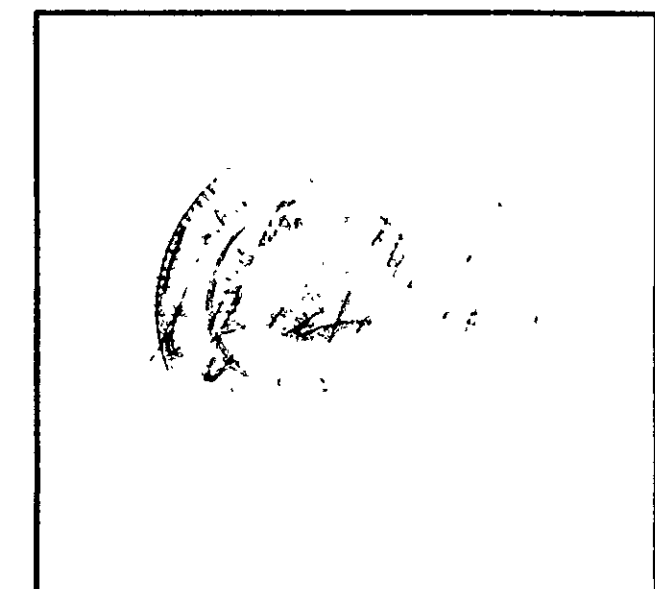
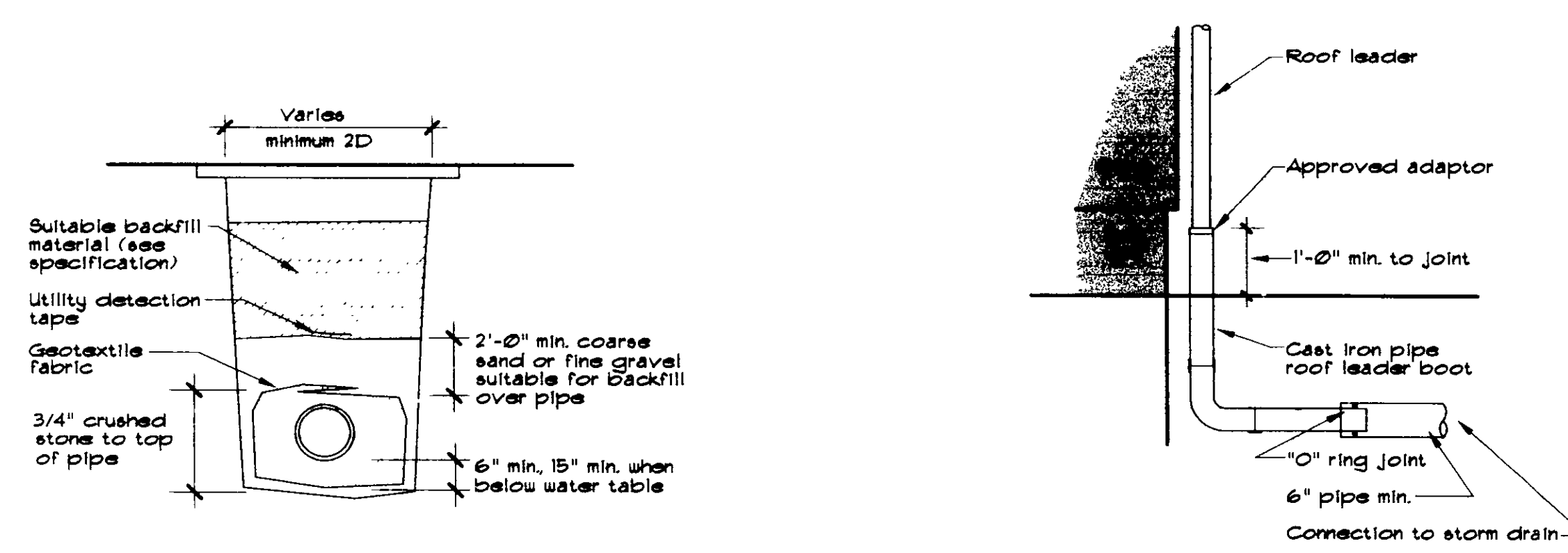


#2389



ZONING INFORMATION #228-230 WARD ST.		
ZONE: R-2, Residential (Med. Density)		
USE: Residential, Single Family Dwelling	Required	Provided
BUILDING AREA (Footprint)	-----	1404 SF.
LOT AREA	6,000 SF.	1,750 SF.
RESIDENTIAL DENSITY	100 FPA + 18(max.)	1 People (total)
FAR	N/A	N/A
LOT OCCUPANCY	25% (max.)	25%
LOT WIDTH	50'	50'
FRONT YARD	Building Line - 15'	
SIDE YARD	15', with 5' or 1/4 Bldg. Hgt. (min.)	15', 5' (min.)
REAR YARD	30'	30'
HEIGHT	4 stories	2 stories
USABLE OPEN SPACE	90 SF/Person	532 SF/Person
PARKING SPACES	15 spaces/ Dwelling unit	3 spaces

ZONING INFORMATION #232-234 WARD ST.		
ZONE: R-2, Residential (Med. Density)		
USE: Residential, Single Family Dwelling	Required	Provided
BUILDING AREA (Footprint)	-----	1404 SF.
LOT AREA	6,000 SF.	6,81 SF.
RESIDENTIAL DENSITY	100 FPA + 14(max.)	1 People (total)
FAR	N/A	N/A
LOT OCCUPANCY	25% (max.)	22.8%
LOT WIDTH	50'	40.8'
FRONT YARD	Building Line - 10'	10'
SIDE YARD	15', with 5' or 1/4 Bldg. Hgt. (min.)	15', 5' (min.)
REAR YARD	30'	30'
HEIGHT	4 stories	2 stories
USABLE OPEN SPACE	90 SF/Person	308 SF/Person
PARKING SPACES	15 spaces/ Dwelling unit	3 spaces



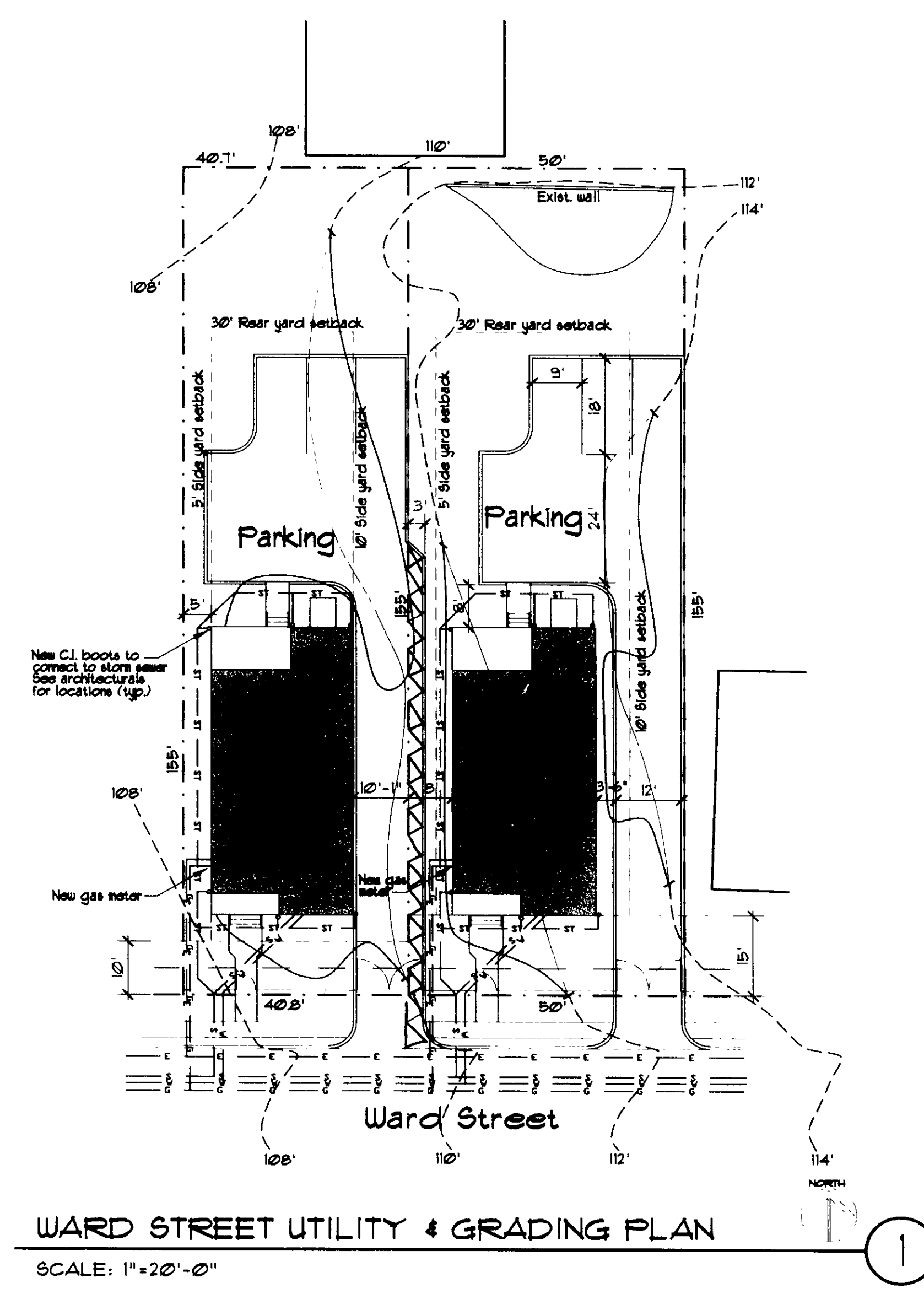
UTILITY TRENCH DETAIL
No Scale

ROOF LEADER BOOT & CONNECTION
No Scale

- GENERAL NOTES:**
- The contractor shall comply with all local, state and federal regulations.
 - Materials and construction procedures shall comply with CT DOT Form 814.
 - Contractor shall protect existing trees, shrubs and miscellaneous structures and fixtures scheduled to remain.
 - Existing pavement to remain shall be neatly saw cut to provide for removal of adjacent paving to be removed as indicated on the site plan. New pavement shall align with grading of existing adjacent pavement.
 - Existing pavement to remain damaged during construction shall be patched and repaired by the contractor.
 - Contractor shall be responsible for securing all necessary permits and fees.
 - No construction materials shall be stored within drip-line of existing trees to remain.
 - Contractor shall stake all site improvements and notify the architect of any discrepancies prior to construction.
 - All items/work shown on this plan shall be new unless noted otherwise.

- UTILITY & GRADING NOTES:**
- Maintain proper inverts and pitch of existing sewer lines.
 - G.C. to coordinate 'tie-in' of all new utilities to existing. Tie-in to or disconnect and provide new connections as required. G.C. shall be responsible for paying all fees.
 - Everything shown is new unless noted otherwise.
 - The locations of underground utilities are approximate and all utilities may not be shown.
 - Prior to construction, contractor shall call 1-800-322-4455 and have utilities marked on the ground.
 - Verify location of existing utilities in field.
 - A minimum slope of 1% must be maintained on all storm and sanitary sewer lines.
 - Three feet of cover is required on all PVC pipes. If three feet of cover cannot be maintained, D.I. pipe must be used.
 - Proposed grades indicate intent. The contractor shall make adjustments as required to meet field conditions.
 - Erosion control fabric to be used on all slopes greater than 3:1.

LEGEND:	
— W —	Water service
— S —	Sanitary Sewer
— ST —	Storm Sewer
— E —	Electrical service
— G —	Gas service



WARD/ZION
STREET
PROJECT
PHASE II
HARTFORD, CT



Crosskey Architects
ARCHITECTURE • INTERIORS

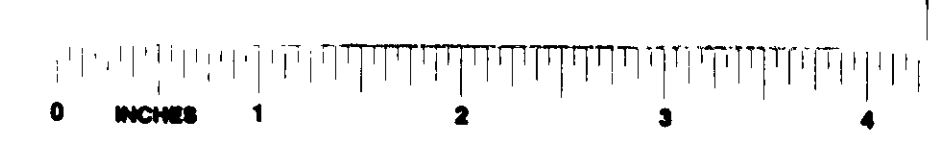
100 ALLYN STREET
HARTFORD, CT 06103
TEL (860) 724-3000
FAX (860) 724-3013

Sheet Description
Site Utility & Grading Plan
Site Details

Project No.
Drawn CH
Date AUG. 26, 1999

S-1

#2389



Ward St.
15' min.
Ordn 4/10/2000