

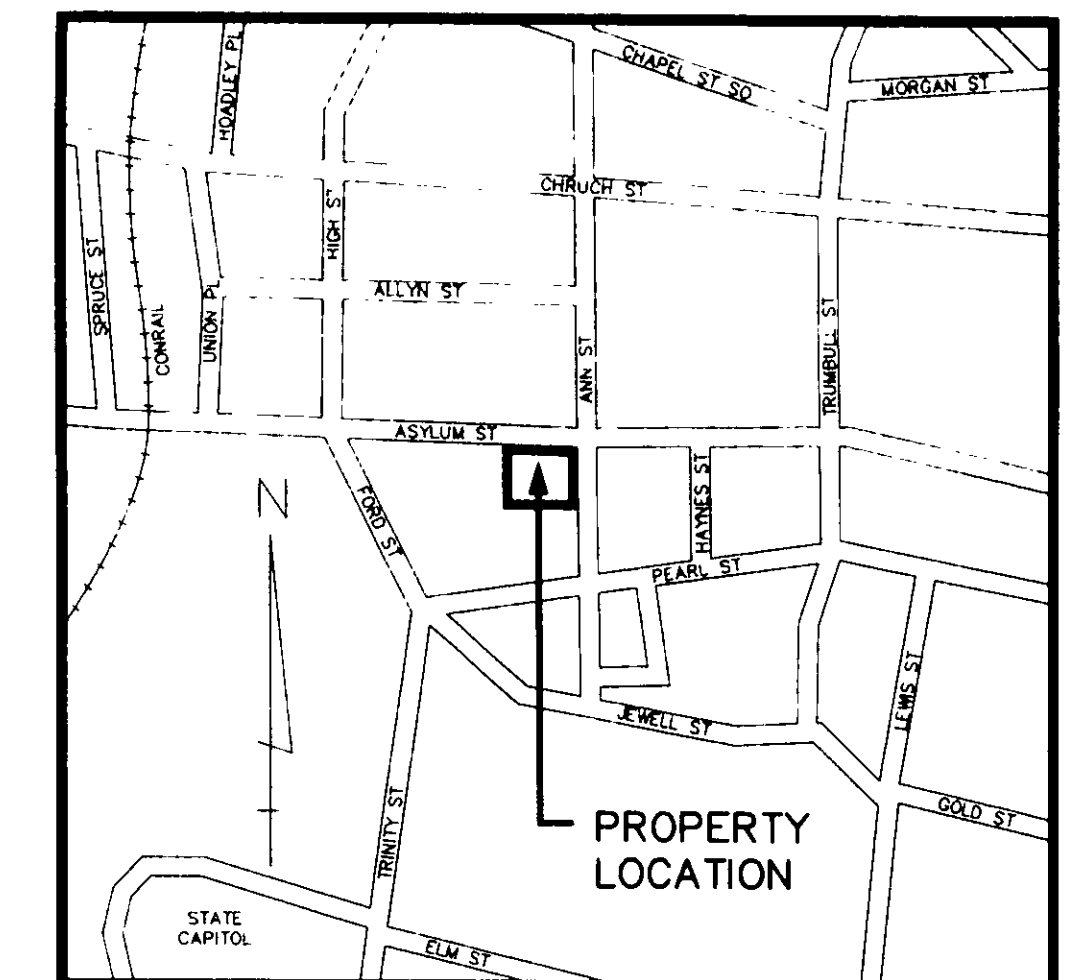
FLOOD NOTE
THE PROPERTY DOES NOT LIE WITHIN A DESIGNATED FLOOD HAZARD ZONE, IS IN ZONE X, AS SHOWN ON THE FLOOD INSURANCE RATE MAP (FIRM), CITY OF HARTFORD, CONNECTICUT, HARTFORD COUNTY, COMMUNITY PANEL NUMBER 095080 0005 B, DATED DECEMBER 4, 1986, BY THE U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT, FEDERAL EMERGENCY MANAGEMENT AGENCY.

ZONING DATA CHART

B-1 DOWNTOWN DEVELOPMENT DISTRICT
LISTED REQUIREMENTS ARE FOR:
NON-RESIDENTIAL

MINIMUM LOT AREA	NO REQUIREMENT
MINIMUM LOT WIDTH	NO REQUIREMENT
MINIMUM FRONT YARD	BUILDING LINE (EXISTING)
MINIMUM SIDE YARD	NO REQUIREMENT
MINIMUM REAR YARD	NO REQUIREMENT
MAX. BLDG HEIGHT	NO REQUIREMENT
MINIMUM OPEN SPACE	NO REQUIREMENT

ZONING INFORMATION TAKEN FROM THE CITY OF HARTFORD ZONING OF THE CODE OF ORDINANCES



LOCATION MAP
SCALE: 1" = 500'

NOTES:

1. PRESENT OWNER OFF THE PROPERTY IS MICHAEL S. TAUB
2. PROPERTY IS LOCATED IN A B-1, DOWNTOWN DEVELOPMENT DISTRICT
3. AREA OF PROPERTY IS 7,658 SQUARE FEET; 0.176 ACRES.
4. PROPERTY IS SERVICED BY PUBLIC SANITARY SEWER AND PUBLIC WATER. PROPERTY IS ALSO SERVICED BY UNDERGROUND SERVICES FOR ELECTRIC AND TELEPHONE WHICH IS NOT EVIDENCED ON THE GROUND.
5. PROPERTY SHOWN IS KNOWN AS LOT 9 - BLOCK 7 ON THE CITY OF HARTFORD ASSESSORS MAP #419.
6. ASYLUM STREET AND ANN STREET ARE PUBLIC STREETS.
7. LOCATION OF SEWERS SHOWN WITHIN THE BUILDING SHOULD BE CONSIDERED APPROXIMATE AND ARE SHOWN FROM RECORD MAPPING.

MAP REFERENCE

MAP SHOWING PROPERTY OF MICHAEL S. TAUB, KNOWN AS THE MORSE SCHOOL OF BUSINESS, 273-281, ASYLUM STREET, 119-129 ANN STREET, HARTFORD, CONNECTICUT, SCALE 1"=10', DATE: DEC. 21, 1992, REVISED OCT. 3, 1995, PREPARED BY MBA ENGINEERING, INC., CERTIFIED CLASS A-2 SURVEY BY LEWIS J. MIRANTE, REGISTERED LAND SURVEYOR.

LIST OF SCHEDULE B EXCEPTIONS

LOCATION OF THE PARTY WALL AGREEMENT, VOLUME 130, PAGE 499 IS SHOWN HEREON.

SEWER RIGHTS IN FAVOR OF THE CITY OF HARTFORD, VOLUME 585, PAGE 100 IS SHOWN HEREON.

GENERAL LOCATION OF SEWER, DRAINAGE AND ELECTRIC RIGHTS IN FAVOR OF THE HARTFORD ELECTRIC LIGHT COMPANY, VOLUME 585, PAGE 100; VOLUME 184, PAGE 372 AND VOLUME 279, PAGE 600 IS SHOWN HEREON.

Legal Description

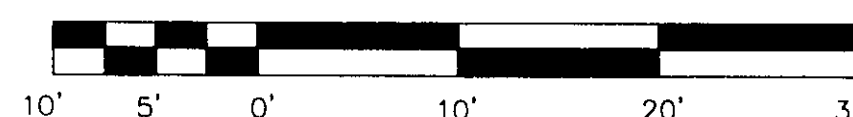
Commencing at a point which marks the intersection of the north line of Asylum Street with the west line of Ann Street; thence running S 02°39'04" W, along the west line of Ann Street, for a distance of 107.59 feet to a point at the northeasterly corner of land now or formerly of City Place Venture; thence turning and running N 82°41'41" W, along the north line of said City Place Venture, for a distance of 142.50 feet to a point in the south line of land now or formerly of Macconn Group; thence turning and running N 89°12'51" E, along the south line of said Macconn and land now or formerly of Two Hundred Eighty Nine Asylum Street Associates, partly by each, for a distance of 70.24 feet to a point at the southeast corner of said Two Hundred Eighty Nine Asylum Street Associates; thence turning and running N 08°25'42" E, along the east line of said Two Hundred Eighty Nine Asylum Street Associates, for a distance of 99.02 feet to a point in the south line of Asylum Street; thence turning and running S 81°10'33" E, along the south line of Asylum Street, for a distance of 62.31 feet to the point and place of beginning, containing within said bounds 7,658 square feet and being the same property as defined in Chicago Title Insurance Company Policy Jacket Number 07 1231 106 000007.

NOTE: THIS DRAWING HAS BEEN PREPARED BASED, IN PART, ON INFORMATION PROVIDED BY OTHERS RELATING TO THE LOCATION OF UNDERGROUND SERVICES AND/OR UTILITIES. WE CANNOT VERIFY THE ACCURACY OF THIS INFORMATION, AND SHALL NOT BE HELD RESPONSIBLE FOR ANY OMISSIONS AND/OR LOCATION OF SAID UTILITIES OR SERVICES WHICH MAY BE INCORPORATED HEREIN AS A RESULT.

REVISIONS TO THESE PLANS BY ANYONE OTHER THAN MBA ENGINEERING, INC. SHALL MAKE THESE PLANS NULL AND VOID. MBA ENGINEERING, INC. SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.

THIS PLAN SHALL NOT BE CONSIDERED VALID UNLESS THE ORIGINAL SIGNATURE OF THE SURVEYOR APPEARS HEREON AND AN EMBOSSED SEAL IS AFFIXED OVER AN ORIGINAL SEAL.

THE WORD CERTIFY IS AN EXPRESSION OF PROFESSIONAL OPINION WHICH IS BASED ON MY BEST KNOWLEDGE, INFORMATION AND BELIEF, AND AS SUCH IT CONSTITUTES NEITHER A GUARANTEE OR WARRANTY, EXPRESSED OR IMPLIED.



1. Morse Capital Limited Partnership, and Chicago Title Insurance Company.

The undersigned certifies to the best of his professional knowledge, information and belief that this map, or plat and the Survey, on which it is based were made (1) in accordance with "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys", jointly established and adopted by ALTA and ACSM and NSPS in 1997, and includes items 1-4, 6-11 and 13 of Table A, thereof, and (2) pursuant to the Accuracy Standards (as adopted by ALTA and ACSM and in effect on the date of this certification) of an Urban Survey.

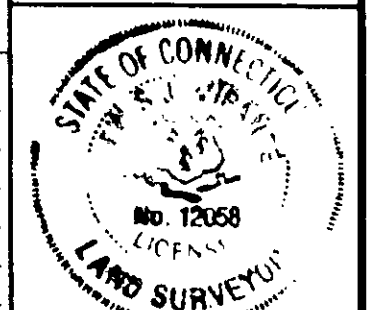
Surveyor's Name: Michael S. Taub
Date: Jan 26, 2000

ALTA/ACSM
LAND TITLE SURVEY
PROPERTY OF
MICHAEL S. TAUB
273-281 ASYLUM STREET
119-129 ANN STREET
HARTFORD, CONNECTICUT

MAP PREPARED BY:

MBA Engineering, Inc.
Surveying and Engineering Services
211 New Britain Road, Suite 103
Kensington, Connecticut 06037
(860) 827-0222 Fax (860) 827-9997

JOB NUMBER 92145
SCALE 1" = 10'
DRAWN BY LJM
CHECKED BY LJM
DATE AUGUST 2, 1999
Revisions OCTOBER 20, 1999
JANUARY 26, 2000



SHEET 1 OF 1

