

### ZONING DATA #22

ZONE: R-4	ALLOWED	PROVIDED
LOT AREA	7000 SF	3837.00 SF *
DWELLINGS	3	1 *
MIN. FRONTAGE	50 FT	26.84 FT *
MIN. FRONT YARD	15 FT	15.24 FT
MIN. SIDE YARD (MIN)	5 FT	5.39 FT
MIN. SIDE YARD (TOT)	15 FT	5.39 FT *
MIN. REAR YARD	30 FT	72.48 FT
MAX. LOT COVERAGE	25%	30% (BUILDING) *
MAX. BLD. HGT.	35 FT	30 FT
PARKING SPACES	1.5	2.5
USABLE OPEN SPACE	800 SF	1944 SF

\* DENOTES NON-CONFORMING TO CURRENT ZONING REGULATIONS  
SOURCE OF DATA HARTFORD ZONING OFFICE 1-860-543-8570.

### ZONING DATA #24

ZONE: R-4	ALLOWED	PROVIDED
LOT AREA	7000 SF	4002.93 SF *
DWELLINGS	3	1 *
MIN. FRONTAGE	50 FT	29.16 FT *
MIN. FRONT YARD	15 FT	15.13 FT
MIN. SIDE YARD (MIN)	5 FT	4.61 FT *
MIN. SIDE YARD (TOT)	15 FT	4.61 FT *
MIN. REAR YARD	30 FT	72.66 FT
MAX. LOT COVERAGE	25%	29% (BUILDING) *
MAX. BLD. HGT.	35 FT	30 FT
PARKING SPACES	1.5	3.5
USABLE OPEN SPACE	800 SF	1008 SF

\* DENOTES NON-CONFORMING TO CURRENT ZONING REGULATIONS  
SOURCE OF DATA HARTFORD ZONING OFFICE 1-860-543-8570.

### ZONING DATA #28

ZONE: R-4	ALLOWED	PROVIDED
LOT AREA	7000 SF	4105.37 SF *
DWELLINGS	3	1 *
MIN. FRONTAGE	50 FT	28.68 FT *
MIN. FRONT YARD	15 FT	15.14 FT
MIN. SIDE YARD (MIN)	5 FT	4.86 FT *
MIN. SIDE YARD (TOT)	15 FT	4.86 FT *
MIN. REAR YARD	30 FT	72.59 FT
MAX. LOT COVERAGE	25%	28% (BUILDING) *
MAX. BLD. HGT.	35 FT	30 FT
PARKING SPACES	1.5	2.5
USABLE OPEN SPACE	800 SF	1008 SF

\* DENOTES NON-CONFORMING TO CURRENT ZONING REGULATIONS  
SOURCE OF DATA HARTFORD ZONING OFFICE 1-860-543-8570.

### ZONING DATA #30

ZONE: R-4	ALLOWED	PROVIDED
LOT AREA	7000 SF	3734.56 SF *
DWELLINGS	3	1 *
MIN. FRONTAGE	50 FT	27.32 FT *
MIN. FRONT YARD	15 FT	15.00 FT
MIN. SIDE YARD (MIN)	5 FT	4.70 FT *
MIN. SIDE YARD (TOT)	15 FT	4.70 FT *
MIN. REAR YARD	30 FT	72.91 FT
MAX. LOT COVERAGE	25%	31% (BUILDING) *
MAX. BLD. HGT.	35 FT	30 FT
PARKING SPACES	1.5	3.5
USABLE OPEN SPACE	800 SF	1831 SF

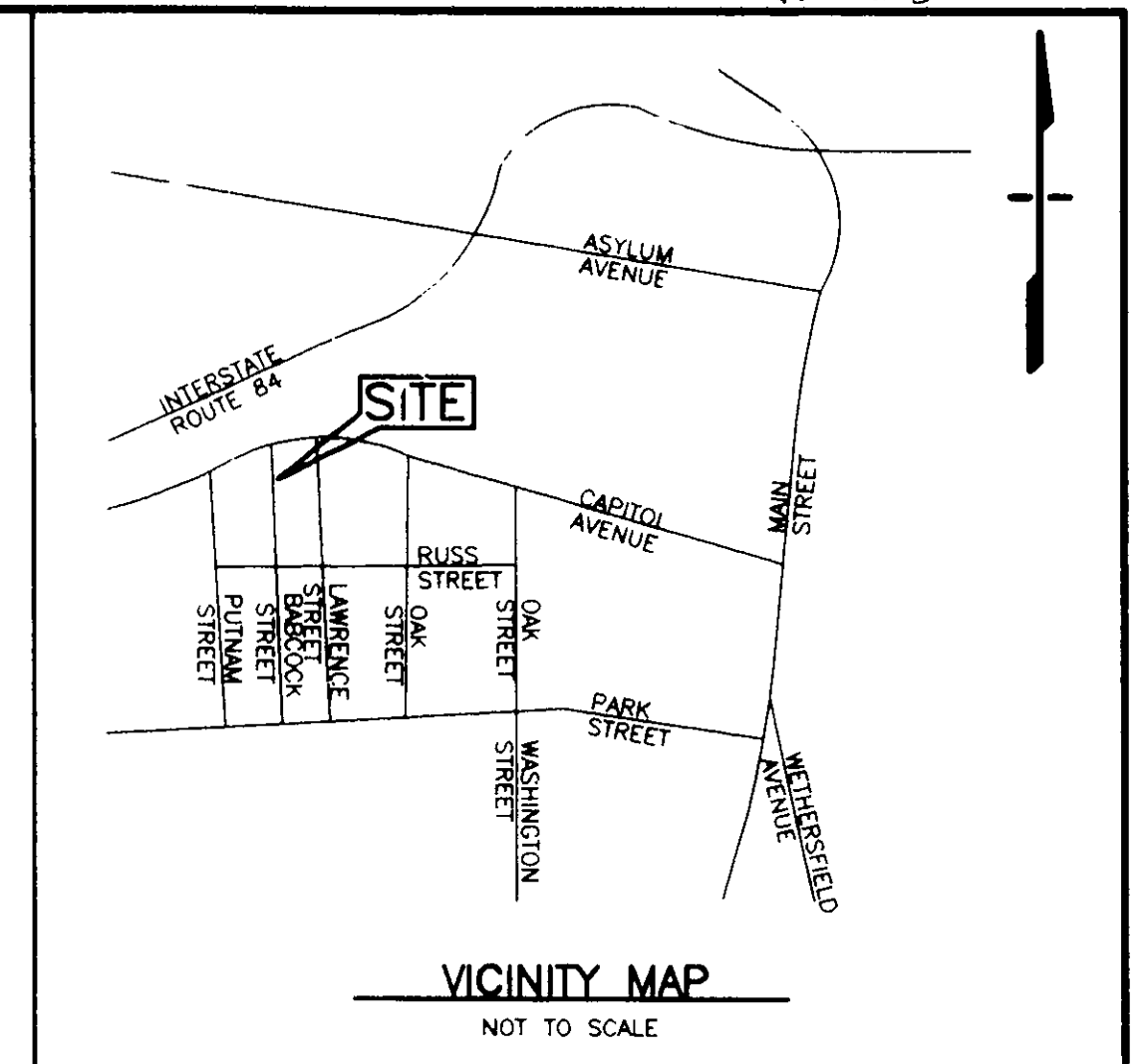
\* DENOTES NON-CONFORMING TO CURRENT ZONING REGULATIONS  
SOURCE OF DATA HARTFORD ZONING OFFICE 1-860-543-8570.

### PROPOSED PAVED AREA

PROPOSED PAVED AREA  
5047.80 SQ. FT.  
0.12 ACRES

### FOOTPRINT TABLE

22 BABCOCK STREET FOOTPRINT AREA 1143.91 SQ. FT. 0.025 ACRES
24 BABCOCK STREET FOOTPRINT AREA 1143.91 SQ. FT. 0.025 ACRES
28 BABCOCK STREET FOOTPRINT AREA 1143.91 SQ. FT. 0.025 ACRES
30 BABCOCK STREET FOOTPRINT AREA 1143.91 SQ. FT. 0.025 ACRES



### LEGEND

---	PROPERTY LINE
---	SETBACK LINE
S	SANITARY SEWER
OHW	OVERHEAD WIRES
X	CHAIN LINK FENCE (5' TYP)
W	WATER SERVICE
IP	IRON PIN (FOUND)
U	UTILITY POLE
WG	WATER GATE
GG	GAS GATE
BL	BUILDING LINE
V.P.	RECORD VOLUME/PAGE
VL	VERANDA LINE
R.O.W.	RIGHT OF WAY
SQ.FT.	SQUARE FEET
AC.	ACRES
CW	CONCRETE WALK
SNET	SOUTHERN NEW ENGLAND TELEPHONE
OF	OIL FILLER CAP
SY	SIDE YARD SETBACK
RY	REAR YARD SETBACK
SMH	SANITARY MANHOLE
N/F	NOW OR FORMERLY
PWD	PROPOSED WOODEN DECK
ELJ	EXISTING LATERAL JUNCTION

### LEGAL DESCRIPTION #22

ALL THAT CERTAIN PARCEL OF LAND WITH BUILDINGS AND IMPROVEMENTS LOCATED THEREON SITUATED ON THE EASTERLY SIDE OF BABCOCK STREET IN THE TOWN OF HARTFORD, COUNTY OF HARTFORD AND STATE OF CONNECTICUT, BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EASTERLY LINE OF BABCOCK STREET, WHICH POINT IS LOCATED 202.02' SOUTHERLY OF THE INTERSECTION OF THE SOUTHERLY LINE OF CAPITOL AVENUE AND THE EASTERLY LINE OF BABCOCK STREET AND WHICH POINT MARKS THE NORTHWESTERLY CORNER OF THE HEREIN DESCRIBED PARCEL, THE LINES RUNS:

**THENCE** S 89°-09'-49" E PARTLY ALONG LAND NOW OR FORMERLY OF RAJCO INVESTMENTS, AND PARTLY ALONG LAND NOW OR FORMERLY OF DANIEL BENZINSKI, ANDRE GOSSELIN AND MARIE BARRIEU, IN ALL, A DISTANCE OF 140.00' TO A POINT;

**THENCE** S 01°-05'-01" E ALONG LAND NOW OR FORMERLY OF TWO HUNDRED AND FIFTY-ONE LAWRENCE STREET LLC, A DISTANCE OF 27.97' TO A POINT;

**THENCE** N 88°-42'-05" W ALONG #24 BABCOCK HEREON, A DISTANCE OF 140.00' TO A POINT;

**THENCE** N 01°-05'-01" E ALONG THE EASTERLY LINE OF BABCOCK STREET, A DISTANCE OF 26.84' TO THE POINT OR PLACE OF BEGINNING; SAID PARCEL CONTAINS 0.09 ACRES OF LAND BY COMPUTATION.

NOTE: THE ABOVE LEGAL DESCRIPTION DESCRIBES THE NORTHERLY PORTION OF THE PROPERTY AS DESCRIBED IN VOLUME 3648 AT PAGE 153 OF THE HARTFORD LAND RECORDS, AS THE FIRST PIECE.

### LEGAL DESCRIPTION #24

ALL THAT CERTAIN PARCEL OF LAND WITH BUILDINGS AND IMPROVEMENTS LOCATED THEREON SITUATED ON THE EASTERLY SIDE OF BABCOCK STREET IN THE TOWN OF HARTFORD, COUNTY OF HARTFORD AND STATE OF CONNECTICUT, BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EASTERLY LINE OF BABCOCK STREET, WHICH POINT IS LOCATED 228.88' SOUTHERLY OF THE INTERSECTION OF THE SOUTHERLY LINE OF CAPITOL AVENUE AND THE EASTERLY LINE OF BABCOCK STREET AND WHICH POINT MARKS THE NORTHWESTERLY CORNER OF THE HEREIN DESCRIBED PARCEL, THE LINES RUNS:

**THENCE** S 88°-42'-05" E ALONG #22 BABCOCK HEREON, A DISTANCE OF 140.00' TO A POINT;

**THENCE** S 01°-05'-01" E PARTLY ALONG LAND NOW OR FORMERLY OF TWO HUNDRED AND FIFTY-ONE LAWRENCE STREET LLC, AND PARTLY ALONG LAND NOW OR FORMERLY OF JORGE A. ROMAN, IN ALL, A DISTANCE OF 28.03' TO A POINT;

**THENCE** N 89°-09'-49" W ALONG #28 BABCOCK HEREON, A DISTANCE OF 140.00' TO A POINT;

**THENCE** N 01°-05'-01" E ALONG THE EASTERLY LINE OF BABCOCK STREET, A DISTANCE OF 29.16' TO THE POINT OR PLACE OF BEGINNING; SAID PARCEL CONTAINS 0.09 ACRES OF LAND BY COMPUTATION.

NOTE: THE ABOVE LEGAL DESCRIPTION DESCRIBES THE SOUTHERLY PORTION OF THE PROPERTY AS DESCRIBED IN VOLUME 3648 AT PAGE 153 OF THE HARTFORD LAND RECORDS, AS THE FIRST PIECE.

### LEGAL DESCRIPTION #28

ALL THAT CERTAIN PARCEL OF LAND WITH BUILDINGS AND IMPROVEMENTS LOCATED THEREON SITUATED ON THE EASTERLY SIDE OF BABCOCK STREET IN THE TOWN OF HARTFORD, COUNTY OF HARTFORD AND STATE OF CONNECTICUT, BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EASTERLY LINE OF BABCOCK STREET, WHICH POINT IS LOCATED 258.02' SOUTHERLY OF THE INTERSECTION OF THE SOUTHERLY LINE OF CAPITOL AVENUE AND THE EASTERLY LINE OF BABCOCK STREET AND WHICH POINT MARKS THE NORTHWESTERLY CORNER OF THE HEREIN DESCRIBED PARCEL, THE LINES RUNS:

**THENCE** S 89°-09'-49" E ALONG #24 BABCOCK HEREON, A DISTANCE OF 140.00' TO A POINT;

**THENCE** S 01°-05'-01" E PARTLY ALONG LAND NOW OR FORMERLY OF JORGE A. ROMAN AND PARTLY ALONG LAND NOW OR FORMERLY OF ABEL M. AND GRACINDA M. PINHO, A DISTANCE OF 29.97' TO A POINT;

**THENCE** N 89°-09'-49" W ALONG #30 BABCOCK HEREON, A DISTANCE OF 140.00' TO A POINT;

**THENCE** N 01°-05'-01" E ALONG THE EASTERLY LINE OF BABCOCK STREET, A DISTANCE OF 28.68' TO THE POINT OR PLACE OF BEGINNING; SAID PARCEL CONTAINS 0.09 ACRES OF LAND BY COMPUTATION.

NOTE: THE ABOVE LEGAL DESCRIPTION DESCRIBES THE NORTHERLY PORTION OF THE PROPERTY AS DESCRIBED IN VOLUME 3648 AT PAGE 153 OF THE HARTFORD LAND RECORDS, AS THE SECOND PIECE.

### LEGAL DESCRIPTION #30

ALL THAT CERTAIN PARCEL OF LAND WITH BUILDINGS AND IMPROVEMENTS LOCATED THEREON SITUATED ON THE EASTERLY SIDE OF BABCOCK STREET IN THE TOWN OF HARTFORD, COUNTY OF HARTFORD AND STATE OF CONNECTICUT, BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EASTERLY LINE OF BABCOCK STREET, WHICH POINT IS LOCATED 284.70' SOUTHERLY OF THE INTERSECTION OF THE SOUTHERLY LINE OF CAPITOL AVENUE AND THE EASTERLY LINE OF BABCOCK STREET AND WHICH POINT MARKS THE NORTHWESTERLY CORNER OF THE HEREIN DESCRIBED PARCEL, THE LINES RUNS:

**THENCE** S 88°-38'-08" E ALONG #28 BABCOCK HEREON, A DISTANCE OF 140.00' TO A POINT;

**THENCE** S 01°-05'-01" E ALONG LAND NOW OR FORMERLY OF ABEL M. AND GRACINDA M. PINHO, A DISTANCE OF 26.03' TO A POINT;

**THENCE** N 89°-09'-49" W ALONG LAND NOW OR FORMERLY OF BRUCE Y. AND LESLIE B. WEINER, A DISTANCE OF 140.00' TO A POINT;

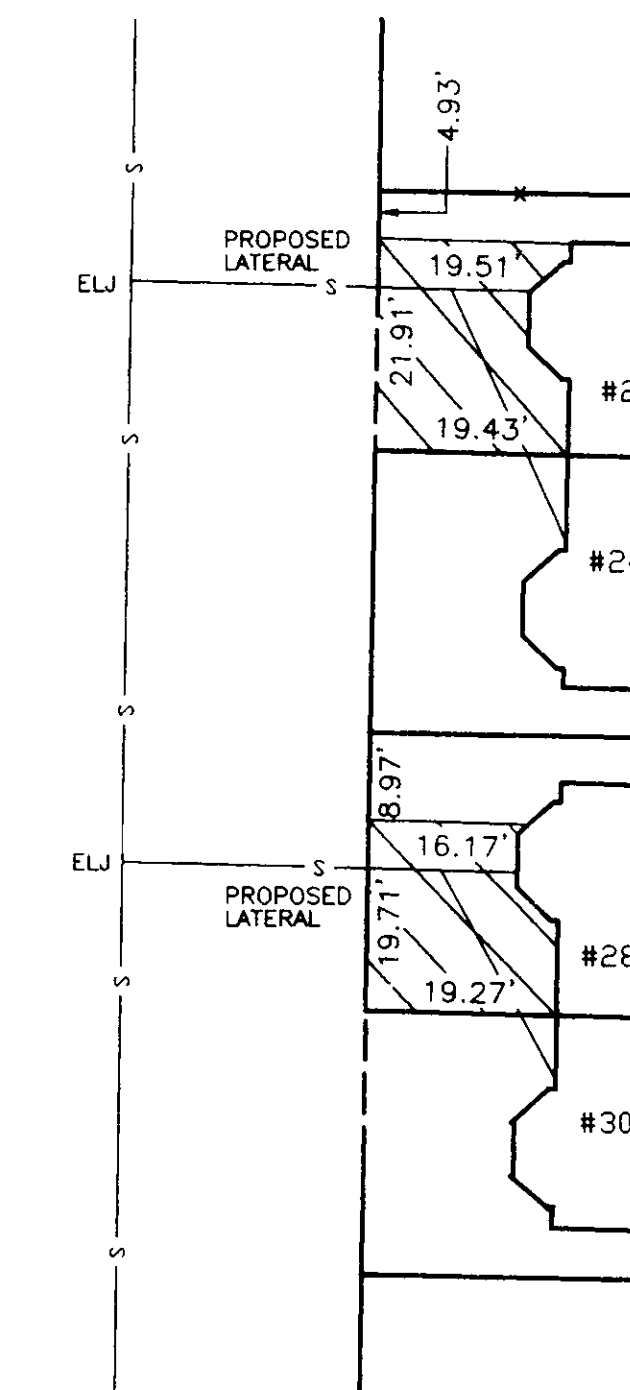
**THENCE** N 01°-05'-01" E ALONG THE EASTERLY LINE OF BABCOCK STREET, A DISTANCE OF 27.32' TO THE POINT OR PLACE OF BEGINNING; SAID PARCEL CONTAINS 0.09 ACRES OF LAND BY COMPUTATION.

NOTE: THE ABOVE LEGAL DESCRIPTION DESCRIBES THE SOUTHERLY PORTION OF THE PROPERTY AS DESCRIBED IN VOLUME 3648 AT PAGE 153 OF THE HARTFORD LAND RECORDS, AS THE SECOND PIECE.

### PARCEL AREA TABLE

SECOND PIECE V.3648 P.153 TOTAL PARCEL AREA 7839.93 SQ. FT. 0.18 ACRES
FIRST PIECE V.3648 P.153 TOTAL PARCEL AREA 7839.93 SQ. FT. 0.18 ACRES
#22 BABCOCK AREA 3837.00 SQ. FT. 0.09 ACRES
#24 BABCOCK AREA 4002.93 SQ. FT. 0.09 ACRES
#28 BABCOCK AREA 4105.37 SQ. FT. 0.09 ACRES
#30 BABCOCK AREA 3734.56 SQ. FT. 0.09 ACRES

### DETAIL PROPOSED SANITARY SEWER AND MAINTAINENCE EASEMENTS IN FAVOR OF #24 AND #30



### GENERAL NOTES:

- ALL MONUMENTATION DEPICTED HEREON WAS FOUND IN THE FIELD UNLESS OTHERWISE NOTED.
- BASIS OF BEARINGS: MAP REFERENCE NO. 1
- THE UTILITIES DEPICTED HEREON ARE THE RESULT OF FIELD SURVEY AND OTHER AVAILABLE SOURCES. THERE MAY EXIST ON SITE, OTHER UTILITIES NOT APPARENT TO THE UNDERSIGNED AT THE TIME OF THE SURVEY.
- EXISTING PARKING LAYOUT ON SITE WAS NOT LOCATED DUE TO CONDITION OF EXISTING PAVEMENT AND POSSIBLE RECONFIGURATION OF PAVEMENT.

### MAP REFERENCES:

REFERENCE IS MADE TO THE FOLLOWING MAPS OR SURVEYS FROM WHICH DATA WAS USED IN THE PREPARATION OF THIS SURVEY AND MAP:

- PROPERTY OF RAJCO INVESTMENTS 18-20 BABCOCK STREET - A CONDOMINIUM 18-20 BABCOCK STREET HARTFORD, CONNECTICUT CLOSE JENSEN AND MILLER JUNE 5, 1986 SCALE 1" = 20'

### NOTES AND DECLARATIONS:

THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300B-1 THRU 20-300B-20, THE MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. THE TYPE OF SURVEY IS PROPERTY/BOUNDARY. THE BOUNDARY DETERMINATION CATEGORY IS FIRST, AND THE HORIZONTAL ACCURACY CONFORMS TO A-2.

NO DECLARATION IS EXPRESSED OR IMPLIED BY THIS MAP OR COPIES THEREOF UNLESS IT BEARS THE IMPRESSION TYPE SEAL AND ORIGINAL LIVE SIGNATURE OF THE SURVEYOR WHOSE NAME AND REGISTRATION NUMBER APPEAR BELOW. ANY CHANGES MADE TO THIS PLAN WITHOUT THE KNOWLEDGE OF THE SIGNERS INVALIDATES THESE DECLARATIONS.

I HEREBY DECLARE TO CIL AFFORDABLE HOUSING, INC., THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF:

- THE PARCELS DEPICTED HEREON CONFORM TO THE CURRENT ZONING REGULATIONS RELATIVE TO LOT AREA AND LOT WIDTH;
- THE BUILDINGS SHOWN HEREON ARE CONFORMING TO CURRENT ZONING REGULATIONS WITH REGARD TO FRONT AND REAR YARD SETBACKS, AND ARE NON CONFORMING WITH REGARD TO SIDE YARD SETBACKS;
- THE PREMISES DEPICTED HEREON ARE NOT LOCATED WITHIN A FEDERAL FLOOD HAZARD ZONE, AS SHOWN ON FEDERAL INSURANCE ADMINISTRATION MAP FOR COMMUNITY NUMBER 095090, PANEL NUMBER 0005B, DATED 12-4-86;
- THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON;

RICHARD MEEHAN, L.L.S. 12330

SCALE: 1" = 20'



REVISION		DATE	
PROPOSED PAVED AREAS AND OTHER REVISIONS		2-16-98	
PROPOSED LATERAL EASEMENTS		11-10-98	
<b>Meehan &amp; Goodin</b> Engineers - Surveyors, P.C. 387 North Main Street, Manchester, CT 06040 (860) 643-2520 FAX (860) 649-8806			
PLAN PREPARED FOR			
<b>CIL AFFORDABLE HOUSING, INC.</b>			
22-24 AND 28-30 BABCOCK STREET		HARTFORD, CONN.	
<b>PROPERTY/ BOUNDARY SURVEY</b>			
SCALE: 1" = 20'	DESIGN: SKA	PROJECT: 97230	ACAD: 97230.DWG
DATE: 1-21-1998	DRAFT: SKA	DISK NO.:	SHEET NO. 1 OF 1

#2353

