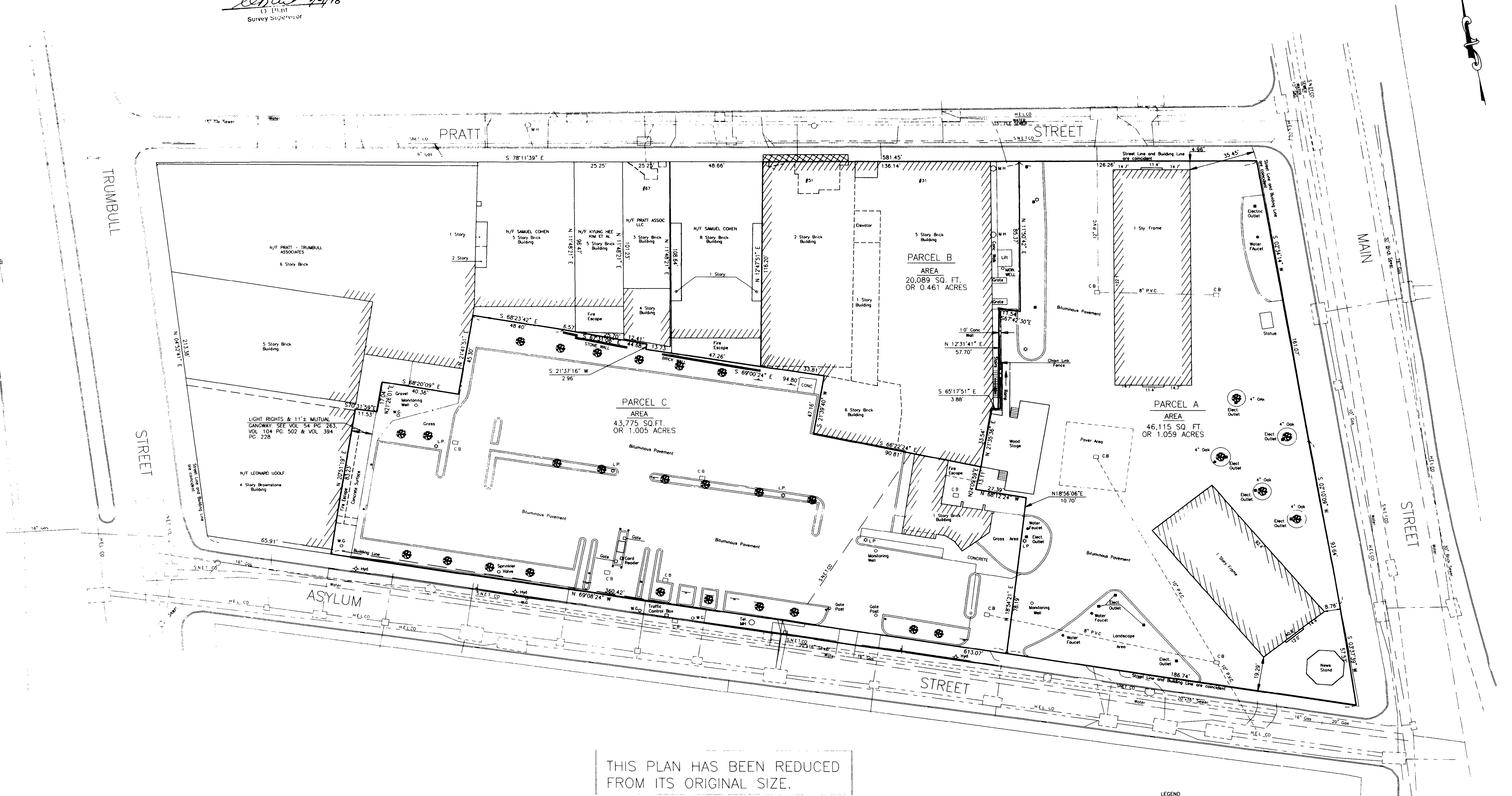


The plan shows the location of the streets of the City of Hartford.
John H. Miller 5/29/98
 O. Plan
 Survey Supervisor



THIS PLAN HAS BEEN REDUCED FROM ITS ORIGINAL SIZE.

NOTES:

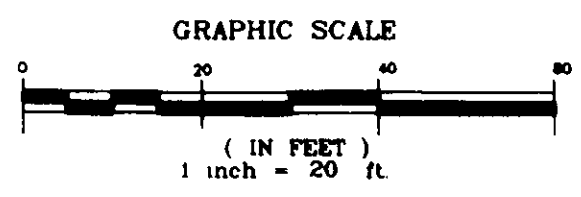
- This survey and map has been prepared in accordance with sections 20-300b-1 thru 20-300b-20 of the regulations of Connecticut State Agencies - Standards For Surveys and maps in the State Of Connecticut as adopted by the Connecticut Association of Land Surveyors, Inc. on Sept. 26, 1996. It is a Boundary Survey based on a dependent re-survey conforming to horizontal accuracy Class A-2 and is intended to be used to depict the position of boundaries with respect to locations of all boundary monumentation. Apparent improvements and features, Record easements and visible evidence of the use thereof, Record and apparent means of ingress and egress, Lines of occupation and deed restrictions pertaining to the location of building or other improvements.
- This survey is not valid without a live signature and embossed seal.

To: People's Bank
 Alkon Asylum Street LLC
 Alkon Main Street LLC
 Alkon Pratt Street LLC
 Commonwealth Land Title Insurance Company

This survey was conducted on the ground on Dec. 5, 1997 and again on Apr. 22, 1998 and (e) to my knowledge and belief, this map is substantially correct as noted hereon and unless otherwise depicted or noted hereon, (b) the deed lines and lines of actual possession are the same; (c) all buildings and improvements are located as shown, are erected entirely within the property lines, and do not encroach over, or upon the street, deed or building lines or any right of way or easement on or appurtenant to the property, (d) there are no utility or other easements or rights of way affecting this property, (e) there are no encroachments or projections on or over the property or on rights of way or easement appurtenant to the same by buildings or improvements erected on adjacent lands, and (f) that the buildings and improvements on this property do not violate any building or zoning regulation, covenant, deed restriction or other regulation or requirement related to the location thereof.

John H. Miller
 JOHN H. MILLER, P.E., L.S.
 L.S. NO. 4142

Note:
 The location of the underground utilities shown on this plan have been obtained from the best available sources. The actual location of these utilities should be verified in the field by the contractor.



LEGEND
 Telephone Conduit
 Sewer Line
 Water Line
 Gas Line
 Electric Conduit
 Underground Vault

1 4/23/98 UPDATED No Date Description Revisions		C. J. Miller Close, Jensen & Miller, P.C. Consulting Engineers, Land Planners & Surveyors 1137 Silas Deane Highway, Westfield, Conn. 06099, Tel. (860) 563-9375		Compiled E.T.J. P.C. Check A.H.M. Designed Drawn E.T.J. Checked J.H.M. Scale 1"=20' Date 12/9/97 Sheet 1 of 1 Job No. File No.
No Date Description Revisions		BOUNDARY SURVEY PROPERTY OF Alkon Asylum Street LLC, Alkon Main Street LLC & Alkon Pratt Street LLC HARTFORD, PRATT STREET, MAIN STREET & ASYLUM STREET CONNECTICUT		LOAD DWG. SDC-SAYZELW & RD

