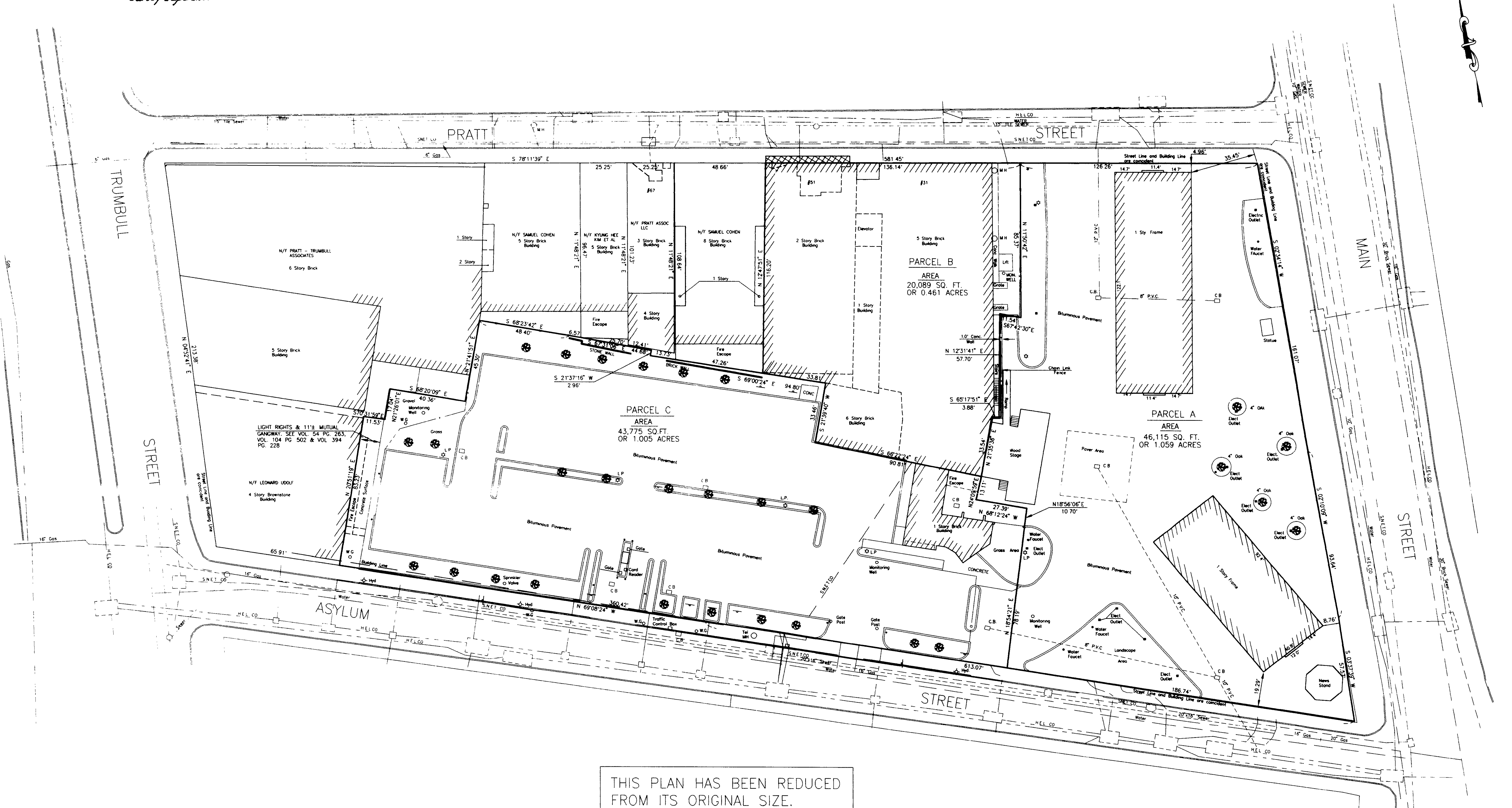


The portions of Main, Asylum and Trumbull Streets shown on this map are established public streets of the City of Hartford.

Obert
Survey Supervisor



THIS PLAN HAS BEEN REDUCED FROM ITS ORIGINAL SIZE.

NOTES

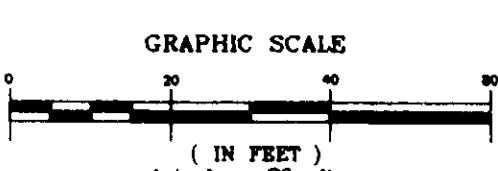
1. This survey and map has been prepared in accordance with sections 20-300a-1 thru 20-300a-20 of the regulations of the Connecticut State Agencies - Standards for Surveys and Maps in the State of Connecticut as adopted by the Connecticut Association of Land Surveyors, Inc. on Sept. 26, 1995. It is a Boundary Survey based on a dependent re-survey conforming to horizontal accuracy Class A-2 and is intended to be used to depict the position of boundaries with respect to locations of all boundary monumentation. Apparent improvements and features. Record easements and visible evidence of the use of the same. Record and apparent means of ingress and egress. Lines of occupation and deed restrictions pertaining to the location of building or other improvements.

2. This survey is not valid without a live signature and embossed seal.

To: BankBoston, N.A.
Master Plans Corp.
ALIKON Main Street LLC
ALIKON Pratt Street LLC
ALIKON Asylum Street LLC
Lawyers Title Insurance Corporation

This survey was conducted on the ground on Dec. 5, 1997 and (a) to my knowledge and belief, this map is substantially correct as noted hereon and unless otherwise depicted or noted hereon, (b) the deed lines and lines of actual possession are the same, (c) all buildings and improvements are located as shown, are erected entirely within the property lines, and do not encroach over, or upon the street, deed or building lines or any right of way or easement on or appurtenant to the property, (d) there are no utility or other easements or rights of way affecting this property, (e) there are no encroachments or projections on or over the property or on rights of way or easement appurtenant to the same by buildings or improvements erected on adjacent lands, and (f) that the buildings and improvements on this property do not violate any building or zoning regulation, covenant, deed restriction or other regulation or requirement related to the location thereof.

By *John H. Miller*
JOHN H. MILLER, P.E., L.S.
LIC. NO. 4142



LEGEND
Telephone Conduit
Sewer Line
Water Line
Gas Line
Electric Conduit
Underground Vault

THIS MAP PRODUCED BY ORIGINAL INK DRAWING ON POLY FILM OR LINEN
CLOSE, JENSEN and MILLER, P.C.
1137 SILAS DEANE HIGHWAY
WETHERFIELD, CT 06099

No. Date Description Revisions		C. J. Miller Close, Jensen & Miller, P.C. Consulting Engineers, Land Planners & Surveyors 1137 Silas Deane Highway, Wethersfield, Conn. 06099, Tel. (860)563-9375		Completed By P.C. Check Designed Drawn Checked Scale 1"=20' Date 12/9/97 Sheet 1 of 1 Job No. File No.	
No. Date Description Revisions		BOUNDARY SURVEY		PROPERTY OF BankBoston, N.A. & Master Plans Corp. PRATT STREET, MAIN STREET & ASYLUM STREET HARTFORD, CONNECTICUT	

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